

VICINITY MAP
NOT TO SCALE

GENERAL SURVEY NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3137) DATED 04/03/06.
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83

C1: BEARING: N 77°2'12"W
CHORD: 162.34'
ARC: 166.08'
RADIUS: 225.00'

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING		
TRAFFIC		
FIRE		

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



NOT FOR CONSTRUCTION

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

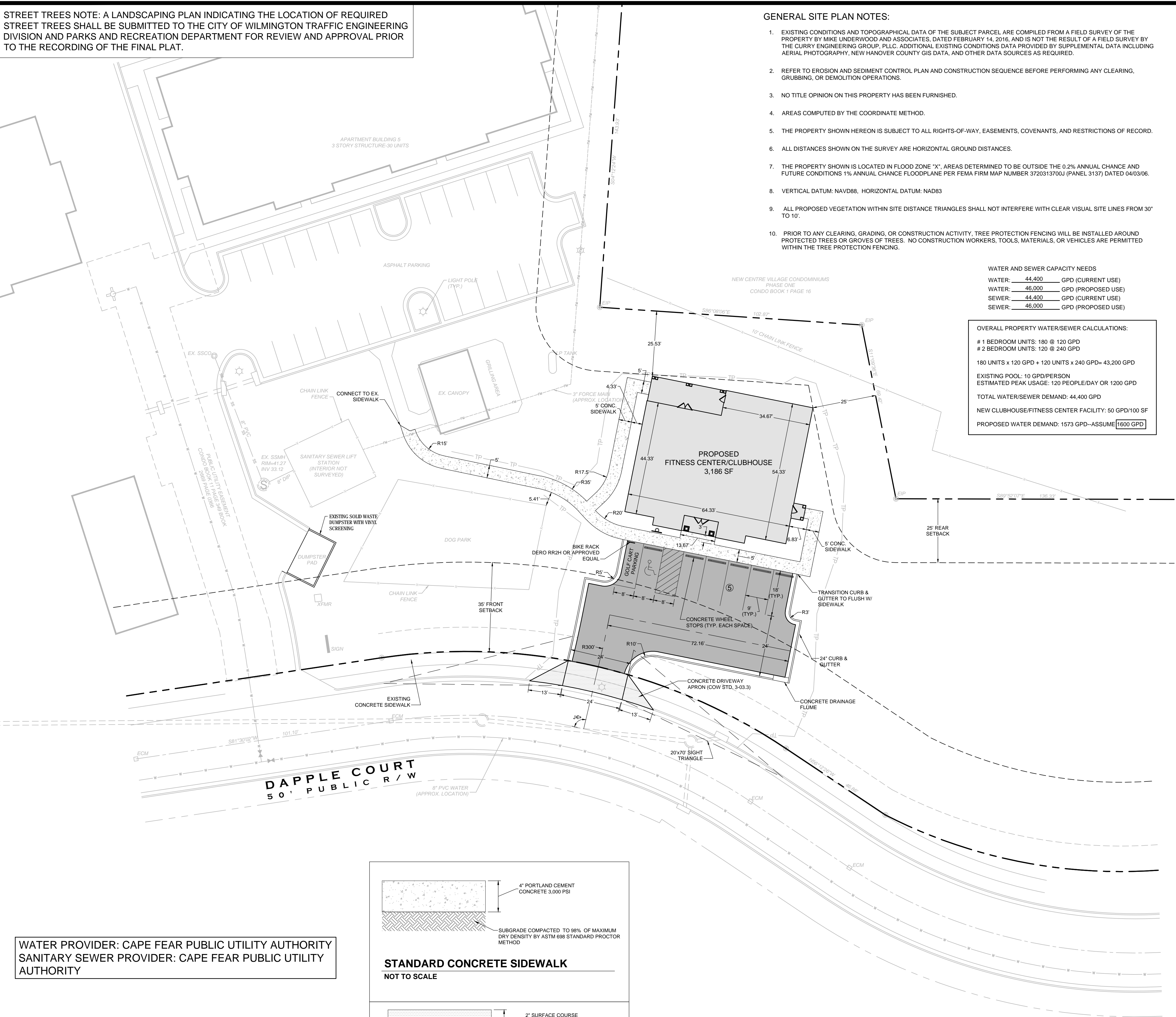
HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
EXISTING CONDITIONS SURVEY AND TREE INVENTORY

Curry ENGINEERING
C-01
205 S. Daughtry Avenue
Fayetteville, NC 27808
T 919.552.0849
F 919.552.2883
N.C. Lic. No. P-47381

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

[illegible]

STREET TREES NOTE: A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.



GENERAL SITE PLAN NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
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- AREAS COMPUTED BY THE COORDINATE METHOD.
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- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM MAP NUMBER 3720313700J (PANEL 3137) DATED 04/03/06.
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
- ALL PROPOSED VEGETATION WITHIN SITE DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SITE LINES FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

WATER AND SEWER CAPACITY NEEDS
WATER: 44,400 GPD (CURRENT USE)
WATER: 46,000 GPD (PROPOSED USE)
SEWER: 44,400 GPD (CURRENT USE)
SEWER: 46,000 GPD (PROPOSED USE)

OVERALL PROPERTY WATER/SEWER CALCULATIONS:
#1 BEDROOM UNITS: 180 @ 120 GPD
#2 BEDROOM UNITS: 120 @ 240 GPD
180 UNITS x 120 GPD + 120 UNITS x 240 GPD= 43,200 GPD
EXISTING POOL: 10 GPD/PERSON
ESTIMATED PEAK USAGE: 120 PEOPLE/DAY OR 1200 GPD
TOTAL WATER/SEWER DEMAND: 44,400 GPD
NEW CLUBHOUSE/FITNESS CENTER FACILITY: 50 GPD/100 SF
PROPOSED WATER DEMAND: 1573 GPD--ASSUME 1600 GPD

CITY OF WILMINGTON STANDARD NOTES:

- PRIOR TO CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY- EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKINGS PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS.
- ANY IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOCHR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES, AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0698.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

SITE DATA TABLE

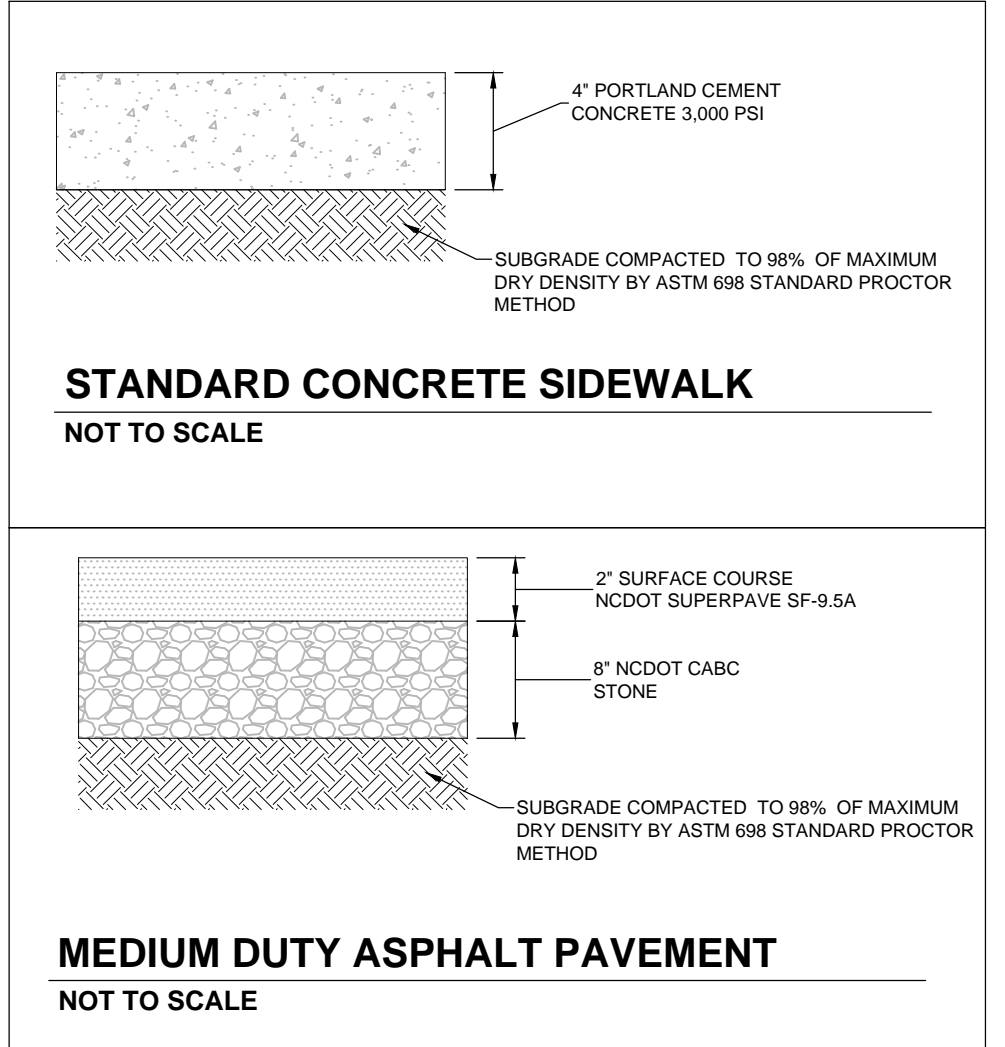
PROJECT NAME:	HAWTHORNE AT NEW CENTRE FITNESS CENTER ADDITION
PROPERTY OWNER:	NEW CENTRE WILMINGTON, LLC
PHYSICAL ADDRESS:	125 DAPPLE COURT
PROPERTY PIN:	R04919-004-024-000
PROJECT AREA:	0.35 ACRES
PROPERTY AREA:	15.39 ACRES
ZONING DISTRICT:	MF-M
OVERLAY DISTRICT:	N/A
BUILDING SETBACKS:	
REQUIRED MIN:	PROPOSED:
FRONT: 35'	FRONT: 59.3'
SIDE: 20'	SIDE: 248.6'
REAR: 25'	REAR: 25'
BUILDING SIZE:	3,186 SF (EXCLUDES COVERED PORCH)
BUILDING LOT COVERAGE:	EX. RESIDENTIAL BUILDINGS: 101,295 SF (FROM RECORDS) PROPOSED FITNESS CENTER: 3,186 SF
	TOTAL BUILDING AREA: 103,309 SF BLC % = 104,481 SF / (15.39 AC * 43560) = 15.59%
BUILDING HEIGHT:	19'-5"
NUMBER OF STORIES:	1
IMPERVIOUS AREAS:	8,789 SF (NEW IMPERVIOUS)
EXISTING BUILDINGS:	101,295 SF
EXISTING ASPHALT & CURB:	263,236 SF
EXISTING CONCRETE:	42,032 SF
EXISTING, TOTAL SITE:	406,563 SF
	PROPOSED BUILDINGS: 104,920 SF PROPOSED ASPHALT & CURB: 266,720 SF PROPOSED CONCRETE: 43,712 SF PROPOSED, TOTAL SITE: 415,352 SF
CAMA LAND USE CLASSIFICATION:	DEVELOPED

PARKING CALCULATIONS:

EXISTING RESIDENTIAL UNIT COUNT:	
# OF 1 BEDROOM UNITS:	180
# OF 2 BEDROOM UNITS:	120
PROPOSED FITNESS CENTER ADDITION:	3,186 SF
CITY OF WILMINGTON REQUIRED PARKING CRITERIA:	
1 BEDROOM RESIDENTIAL:	1.5 SPACES PER UNIT
2 BEDROOM RESIDENTIAL:	2 SPACES PER UNIT
FITNESS CENTER:	1 SPACE PER 400 SF MIN 1 SPACE PER 200 SF MAX
REQUIRED PARKING:	
1 BEDROOM RESIDENTIAL:	270 SPACES
2 BEDROOM RESIDENTIAL:	240 SPACES
FITNESS CENTER:	8 SPACES MINIMUM 16 SPACES MAXIMUM
TOTAL MINIMUM REQUIRED:	516 SPACES
PROVIDED PARKING:	
EX. PARKING SPACES-MAIN BLDGS:	549
PROPOSED FINAL PARKING:	
EX. PARKING SPACES-MAIN BUILDINGS TO REMAIN:	549
PROPOSED SPACES IN FITNESS CENTER LOT:	6
TOTAL PARKING SPACES:	555
NEW ACCESSIBLE PARKING REQ'D:	1
NEW ACCESSIBLE PARKING PROVIDED:	1
NEW BICYCLE PARKING REQ'D:	5 SPACES (1 RACK)
NEW BICYCLE PARKING PROVIDED:	5 SPACES (1 RACK)

WATER PROVIDER: CAPE FEAR PUBLIC UTILITY AUTHORITY
SANITARY SEWER PROVIDER: CAPE FEAR PUBLIC UTILITY AUTHORITY

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

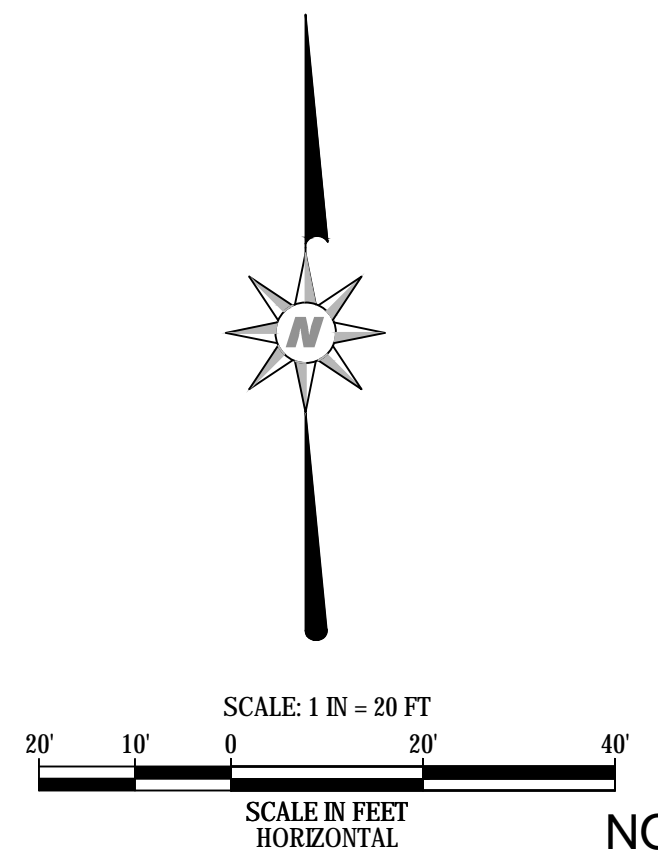


APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING		
TRAFFIC		
FIRE		

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____



OVERALL PROPERTY WATER/SEWER CALCULATIONS:

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2 BEDROOM UNITS: 120 @ 240 GPD

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EXISTING POOL: 10 GPD/PERSON
ESTIMATED PEAK USAGE: 120 PEOPLE/DAY OR 1200 GPD

TOTAL WATER/SEWER DEMAND: 44,400 GPD

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1. EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
2. COMPLY WITH LOCAL SPECIFICATIONS WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IN THE EVENT OF A CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN UNLESS OTHERWISE NOTED ON THE PLANS.
3. COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. WATER AND SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) STANDARDS AND SPECIFICATIONS.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES OR UTILITY SERVICE PROVIDERS SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
5. CONTRACTOR SHALL NOTIFY CFPUA INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
6. CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS ON ALL WATER AND SEWER LINES AT ALL TIMES DURING CONSTRUCTION.
7. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
8. EXISTING UNDERGROUND UTILITY LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITY.

A. SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTAL TO ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE APPROPRIATE REVIEWING AGENCY (DEH OR DENR) MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SLOPE LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

B. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SEWER IS TO CROSS THE WATER MAIN, BOTH WATER MAIN AND SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS BEFORE BACKFILLING.

C. A 24 INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED.

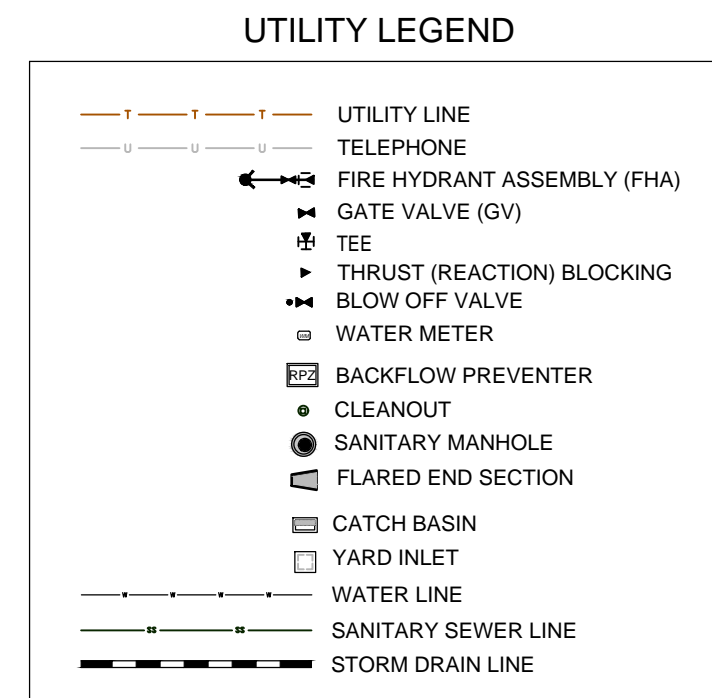
CROSSINGS:

A. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUITANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.

B. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED

1. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING, OR
2. EITHER THE WATER MAIN OR THE SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE WHICH EXTENDS 10 FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE REGULATORY AGENCY OF USE IN WATER MAIN CONSTRUCTION.

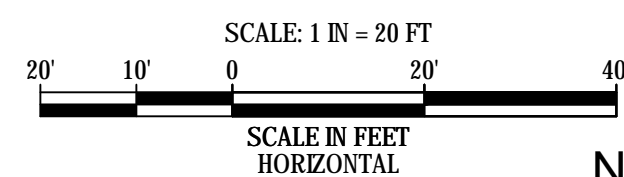
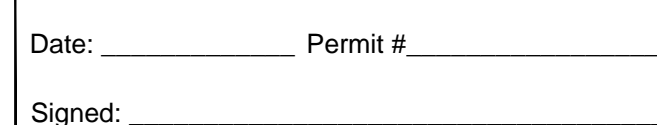
IMPORTANT NOTE: EXISTING SEWER LINES SHOWN ARE LOCATED FROM ABOVE GROUND EVIDENCE AND AVAILABLE HISTORICAL RECORDS. PIPE DIAMETERS, DEPTHS, AND MATERIALS WERE UNABLE TO BE DETERMINED VIA TRADITIONAL SURVEY METHODS AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF DISCREPANCIES ARE NOTED.



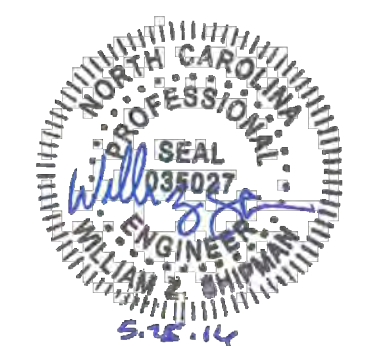
PLANNING _____

TRAFFIC _____

FIRE _____




**Know what's below.
Call before you dig.**



HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER

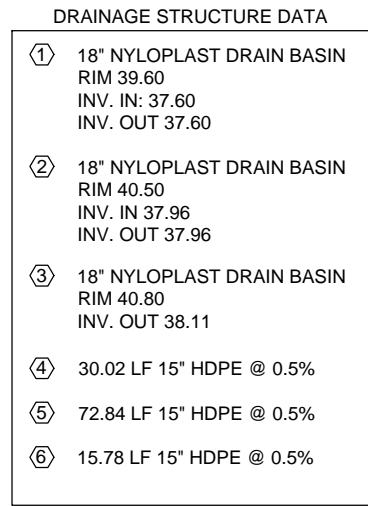
UTILITY PLAN

T (919) 552-0849
F (919) 552-2043
205 S. Fuquay Avenue
Fuquay-Varina, NC 27526



Curry
ENGINEERING

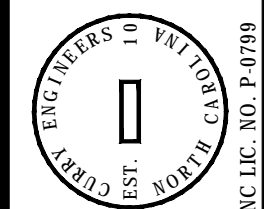
C-05



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3. COORDINATE WITH ALL APPROPRIATE UTILITY PROVIDERS FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. WATER AND SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) STANDARDS AND SPECIFICATIONS.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES OR UTILITY SERVICE PROVIDERS SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
5. CONTRACTOR SHALL NOTIFY CFPUA INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
6. CONTRACTOR SHALL MAINTAIN MINIMUM COVER REQUIREMENTS ON ALL WATER AND SEWER LINES AT ALL TIMES DURING CONSTRUCTION.
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8. EXISTING UNDERGROUND UTILITY LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND FIELD VERIFIED PRIOR TO CONSTRUCTION ACTIVITY.
9. ACCESSIBLE PARKING SPACES SHALL CONFORM WITH ADAAG REGULATIONS AND NC BUILDING CODE. THE MAXIMUM SLOPE IN ANY ACCESSIBLE PARKING AREA IS 2% IN ANY DIRECTION. THE MAXIMUM LONGITUDINAL SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 5% AND THE MAXIMUM CROSS SLOPE OF ANY ACCESSIBLE ROUTE SHALL BE 2%. CONCRETE FLATWORK AREAS ALONG THE ACCESSIBLE ROUTE WHICH DO NOT COMPLY WITH APPLICABLE ADAAG REGULATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

[illegible]

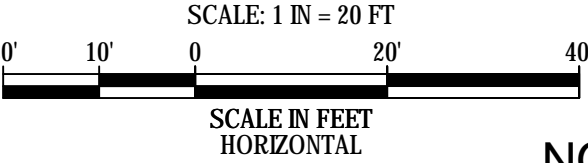
T (919) 552-0849
F (919) 552-2043
205 S. Fuquay Avenue
Fuquay-Varina, NC 27526



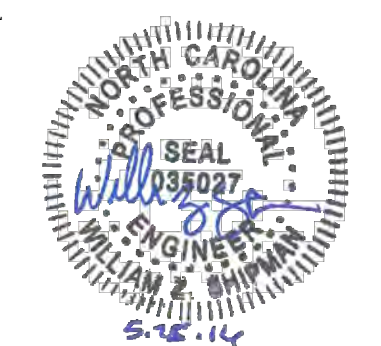
C-05

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

<u>APPROVED CONSTRUCTION PLAN</u>	
<u>NAME</u>	<u>DATE</u>
PLANNING _____	_____
TRAFFIC _____	_____
FIRE _____	_____



Know what's below.
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NOT FOR CONSTRUCTION

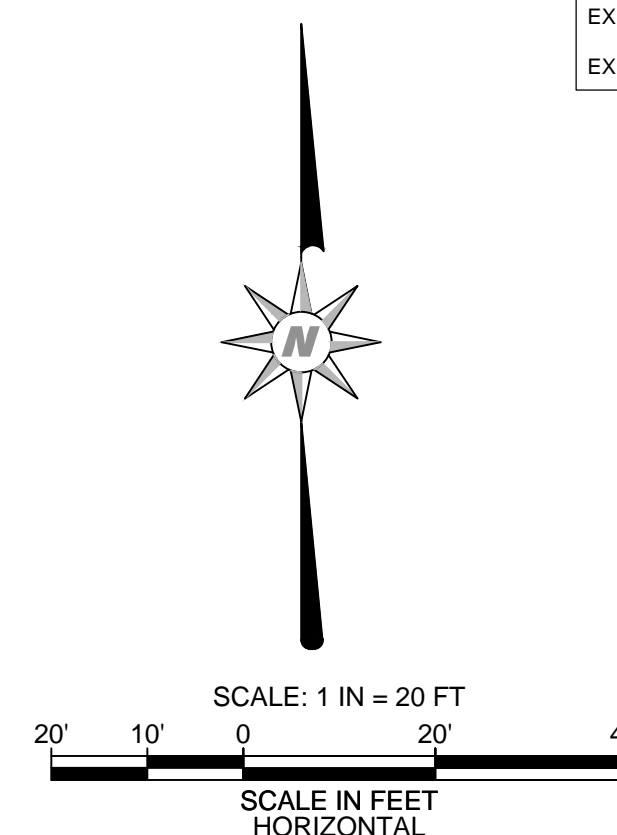


PRE DEVELOPMENT		POST DEVELOPMENT	
EXISTING BUILDINGS:	101,295 SF	PROPOSED BUILDINGS:	104,920 SF
EXISTING ASPHALT & CURB:	263,236 SF	PROPOSED ASPHALT & CURB:	266,720 SF
EXISTING CONCRETE:	42,032 SF	PROPOSED CONCRETE:	43,712 SF
EXISTING, TOTAL SITE:	406,563 SF	PROPOSED, TOTAL SITE:	415,352 SF
		PERCENTAGE INCREASE:	2.16%

PLANNING _____

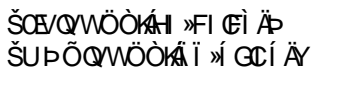
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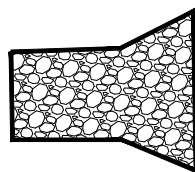
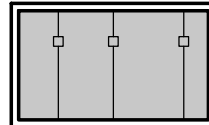


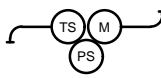




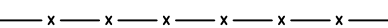



A circular professional engineer seal for the State of North Carolina. The outer ring contains the text "NORTH CAROLINA" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by dots. In the center, the word "SEAL" is printed above the license number "035027". The name "WILLIAM Z. SHIPMAN" is written in a cursive script across the center. At the bottom of the seal, the date "5.25.14" is handwritten.

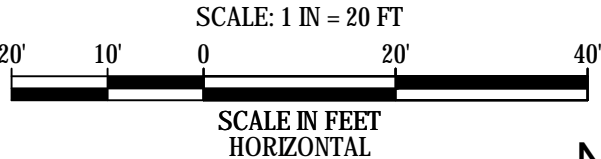
IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.



1. EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2018, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
2. REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
3. ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
4. THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN PER FEMA FIRM MAP 372031370J01 (PANEL 3137) DATED 04/03/06.
5. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

1. A LAND DISTURBANCE PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO ANY DISTURBANCE ON SITE. THIS PRECONSTRUCTION CONFERENCE MAY BE COMBINED WITH OTHER PRECONSTRUCTION MEETINGS AS NECESSARY. THE MEETING SHALL BE ATTENDED BY THE OWNER, NEW HAMPSHIRE COUNTY INSPECTIONS STAFF (IF REQUIRED), THE ENGINEER, AND GENERAL CONTRACTOR. THE CONTRACTOR SHALL SCHEDULE THE MEETING TO OCCUR AT LEAST 48 HOURS PRIOR TO ANY DISTURBANCE ON SITE.
2. INSTALL SILT FENCE AROUND THE PERIMETER OF THE WORK SITE, DISTURBING ONLY THOSE AREAS NECESSARY TO INSTALL THE FENCE. REMOVE EXISTING FEATURES AS NEEDED TO INSTALL THE FENCE, AS OUTLINED ON THE DEMOLITION PLAN.
3. PLACE PEDESTRIAN BARRICADES ON SIDEWALKS AS SHOWN ON THE DEMOLITION PLAN AND EROSION CONTROL PLAN.
4. ONCE SILT FENCE IS INSTALLED, BEGIN CLEARING, GRUBBING, AND STRIPING OF THE SITE. STRIP AND STOCKPILE TOPSOIL FOR SIFTING, DRYING, AND TESTING.
5. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND SIDEWALK AS SHOWN ON THE DEMOLITION PLAN. DISPOSE OF CONSTRUCTION DEBRIS IN AN APPROVED LANDFILL.
6. BEGIN ROUGH GRADING THE SITE TO CREATE A BUILDING PAD AS NEEDED. PLACE FILL MATERIAL UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.
7. BEGIN CONSTRUCTION OF NEW BUILDING FACILITY.
8. INSTALL ROOF DRAINAGE LEADERS, DRAIN TILE, AND OTHER STORMWATER PIPING.
9. INSTALL CONCRETE FLATWORK AND SIDEWALK AREAS. COMPLETE FINE GRADING OF ANY DISTURBED AREAS.
10. STRIPE PARKING LOT AND INSTALL FINAL SITE IMPROVEMENTS (BOLLARDS, WHEEL STOPS, ETC.).
11. INSTALL LANDSCAPING SHRUBS, TREES, AND GROUND COVER. STABILIZE ALL REMAINING DISTURBED AREAS WITH PERMANENT SEEDING OR SOD AS SHOWN ON THE LANDSCAPING PLAN.
12. ONCE SITE IS PERMANENTLY STABILIZED, REMOVE ALL SILT FENCE AND OTHER TEMPORARY EROSION CONTROL MEASURES. STABILIZE REMAINING FINAL AREAS ALTERED DURING THE REMOVAL OF EROSION CONTROL MEASURES.

	CONSTRUCTION ENTRANCE/EXIT
	SEDIMENT BASIN
	SILT FENCE OUTLET
	ROCK CHECK DAM
	TEMP. SEED/MULCH/PERM. SEED
	OUTLET PROTECTION
	DIVERSION DITCH
	INLET PROTECTION
	SILT SACK
	SILT FENCE
	TREE PROTECTION FENCE
	DISTURBANCE LIMITS
	DRAINAGE AREA LIMITS



Know what's below.
Call before you dig.



NOT FOR CONSTRUCTION

	<u>NAME</u>	<u>DATE</u>
PLANNING		
TRAFFIC		
FIRE		

Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

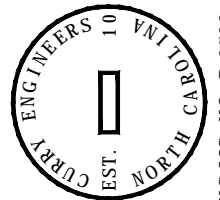
Signed:

IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER

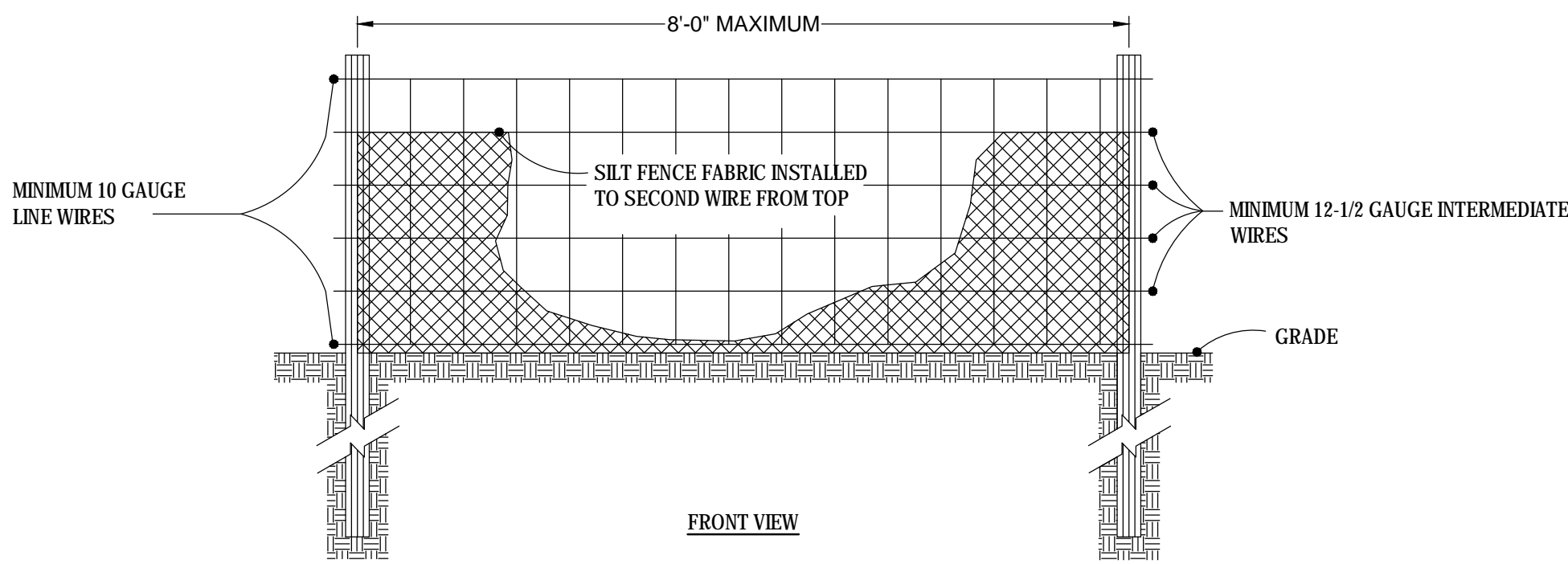
EROSION CONTROL PLAN

T (919) 552-0849
F (919) 552-2043

The logo for Curry Engineering, featuring the word "Curry" in a large, black, serif font, and the word "ENGINEERING" in a smaller, black, sans-serif font, with a red vertical bar separating the two words.

C-08

2:\PROJECTS\FOLDER-ZEBULON\2015015-083 NEW CENTRE FITNESS CENTER\PLANS\SITE PLANS\SSC-08 EROSION CONTROL PLAN.DWG



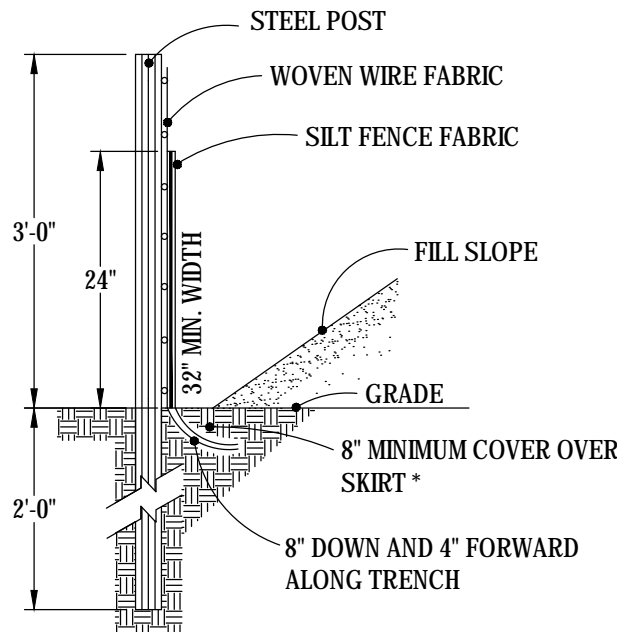
NOTE:
USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.

MAINTENANCE
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

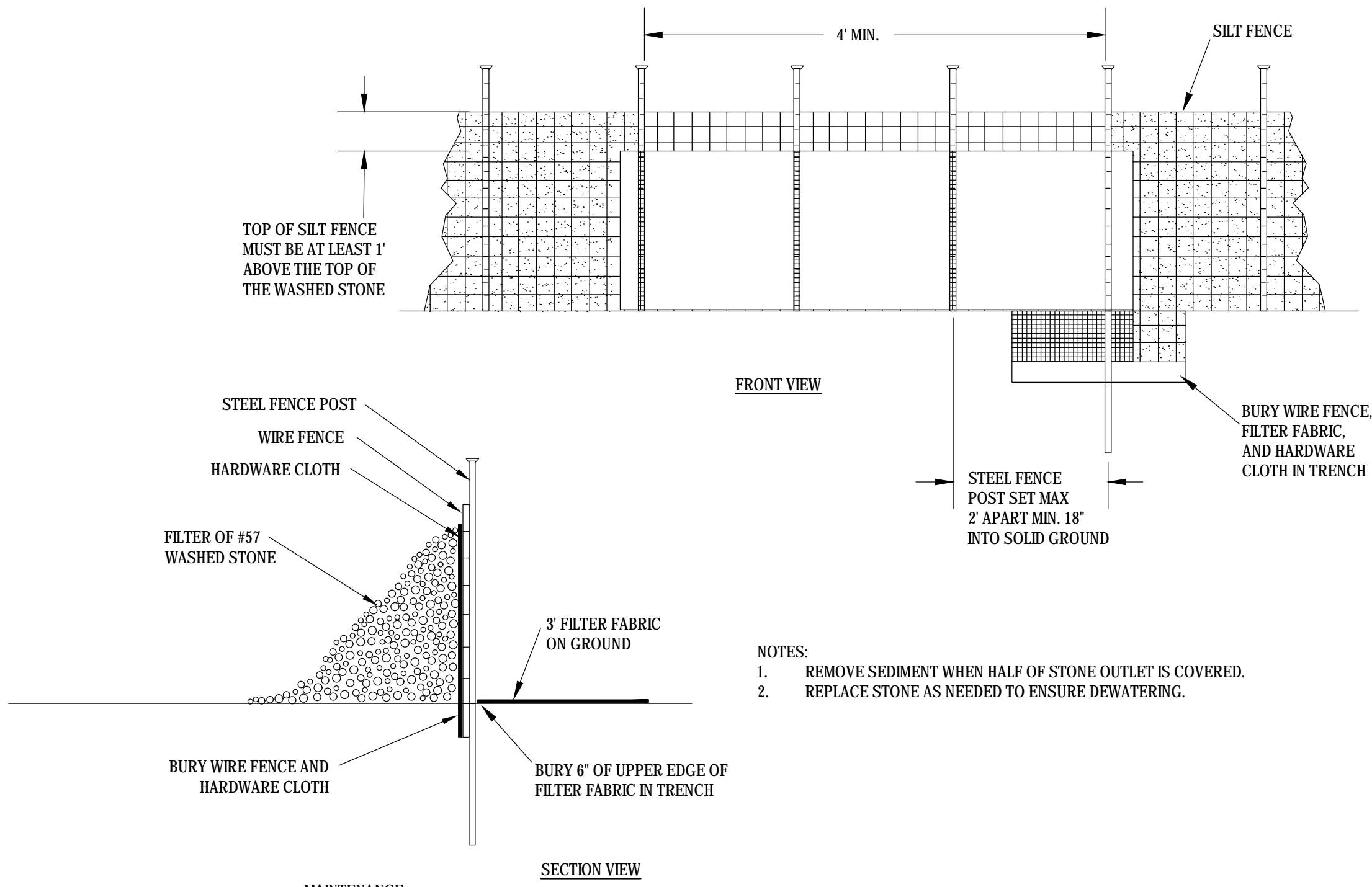
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS WHEN DEPTH OF SEDIMENT REACHES 12" TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



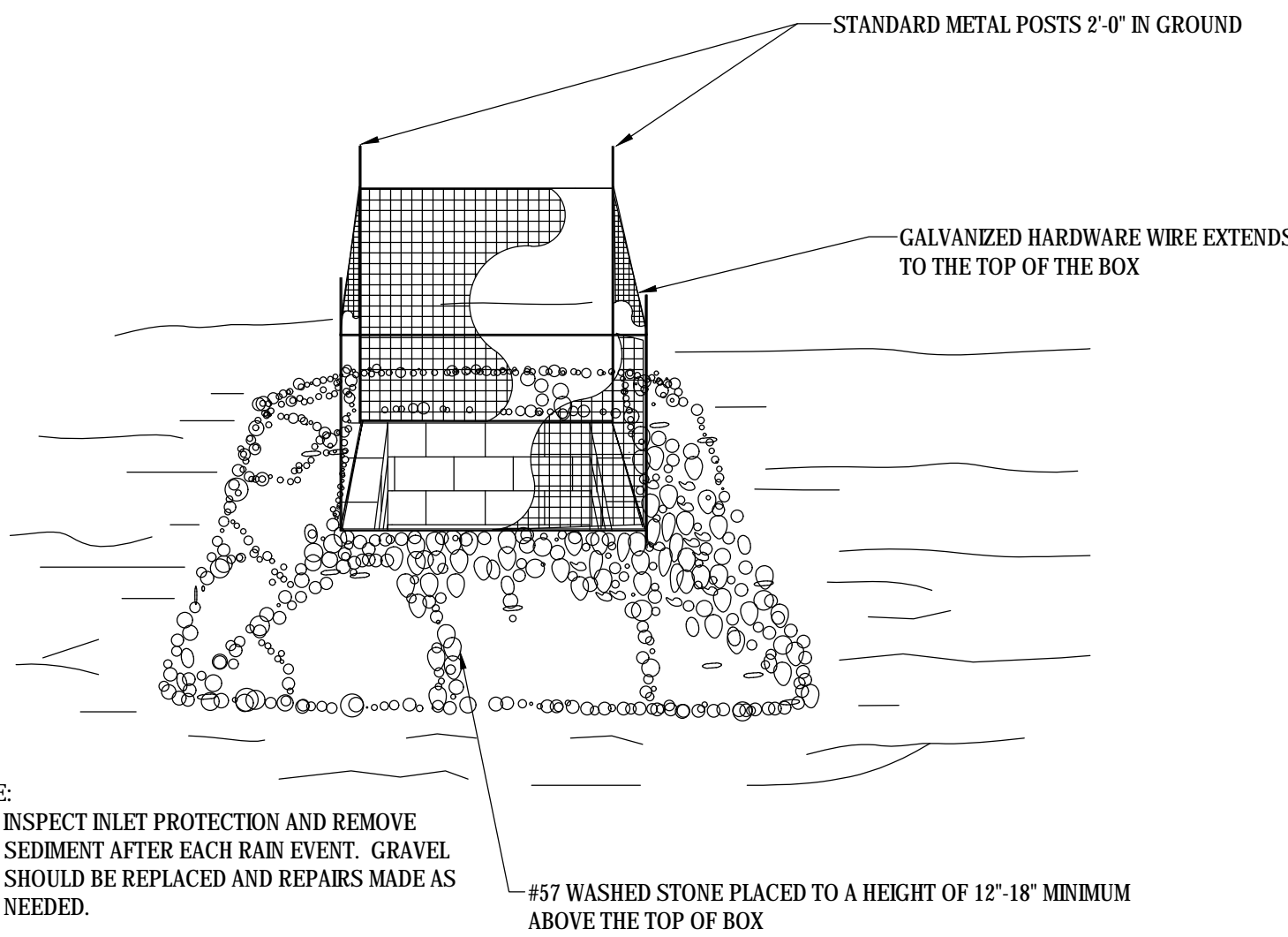
1
D-02 SILT FENCE DETAIL (NCDENR 6.62)
SCALE: N.T.S.



NOTES:
1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
2. REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

MAINTENANCE
SEE SILT FENCE THIS SHEET FOR MAINTENANCE INFORMATION.

2
D-02 SILT FENCE OUTLET (NCDENR 6.62)
SCALE: N.T.S.



NOTE:
1. INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.

4
D-02 HARDWARE CLOTH AND GRAVEL INLET PROTECTION
SCALE: N.T.S.

TS TEMPORARY SEEDING

SEEDING MIXTURE

"COOL SEASON" SEPTEMBER 1 - FEBRUARY 28

SPECIES	RATE (lb/ACRE)
SOFT RED WINTER WHEAT	120

"WARM SEASON" MARCH 1 - AUGUST 31

SPECIES	RATE (lb/ACRE)
GERMAN BROWN TOP, OR FOX TAIL MILLET	65

SOIL AMENDMENTS

TILL SOIL TO A DEPTH OF 4". APPLY LIME AT A RATE OF 70 LB PER 100 SF, OR 1.5 TONS PER ACRE. APPLY 10-20-20 FERTILIZER AT A RATE OF 20 LBS PER 1000 SF OR 850 LBS PER ACRE. THE FERTILIZER SHOULD BE EITHER SLOW TIME RELEASE, OR APPLIED IN TWO APPLICATIONS, HALF AT TIME OF PLANTING AND THE SECOND HALF AFTER PERMANENT SEED GERMINATES.

MULCH

APPLY 4,000 lb/ACRE STRAW. THE GROUND SHOULD BE COMPLETELY COVERED WITH NO BARE SPOT LARGER THAN A QUARTER. THEN TACKED WITH EMULSIFIED ASPHALT. EMULSIFIED ASPHALT SHALL BE APPLIED AT A RATE HEAVY ENOUGH THAT THE ENTIRE AREA APPEARS BLACK IN COLOR.

MAINTENANCE
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES 3:1 AND GREATER.

PS PERMANENT SEEDING

PERMANENT SODDING:

PROVIDE BERMUDA SOD IN ACCORDANCE WITH LANDSCAPE DRAWINGS REFER TO MAINTENANCE SPECIFICATIONS AND REQUIREMENTS FOR PERMANENT SODDING.

PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING, OR PLOWING TO DEPTH OF SIX INCHES SO AS TO PRODUCE A LOOSE, FRIABLE SURFACE. REMOVE ALL STONES, BOULDERS, STUMPS, OR DEBRIS FROM THE SURFACE WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH.

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST, OR APPLY 300 LB/ACRE 10-10-10 FERTILIZER.

PERMANENT SEEDINGS:

"COOL SEASON" SEPTEMBER 1 - FEBRUARY 28

SPECIES	RATE (LB/ACRE)
SOFT RED WINTER WHEAT	50
COMMON BERMUDA (HULLED)	25
COMMON BERMUDA (UNHULLED)	25

"WARM SEASON" MARCH 1 - AUGUST 31

SPECIES	RATE (LB/ACRE)
GERMAN BROWN TOP, OR FOX TAIL MILLET	50
COMMON BERMUDA (HULLED)	50

SOIL AMENDMENTS

TILL SOIL TO A DEPTH OF 4". APPLY LIME AT A RATE OF 70 LB PER 100 SF, OR 1.5 TONS PER ACRE. APPLY 10-20-20 FERTILIZER AT A RATE OF 20 LBS PER 1000 SF OR 850 LBS PER ACRE. THE FERTILIZER SHOULD BE EITHER SLOW TIME RELEASE OR APPLIED IN TWO APPLICATIONS, HALF AT TIME OF PLANTING AND THE SECOND HALF AFTER PERMANENT SEED GERMINATES.

MULCH

APPLY 4,000 lb/ACRE STRAW. THE GROUND SHOULD BE COMPLETELY COVERED WITH NO BARE SPOTS LARGER THAN A QUARTER. THEN TACKED WITH EMULSIFIED ASPHALT. EMULSIFIED ASPHALT SHALL BE APPLIED AT A RATE HEAVY ENOUGH THAT THE ENTIRE AREA APPEARS BLACK IN COLOR.

MAINTENANCE

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

APPROVED CONSTRUCTION PLAN

	NAME	DATE
PLANNING		
TRAFFIC		
FIRE		

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

SEAL
NORTH CAROLINA
PROFESSIONAL
ENGINEER
WILLIAM E. SHAW
5-18-14

NOT FOR CONSTRUCTION

Curry
ENGINEERING
D-02

HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
NOTES AND DETAILS

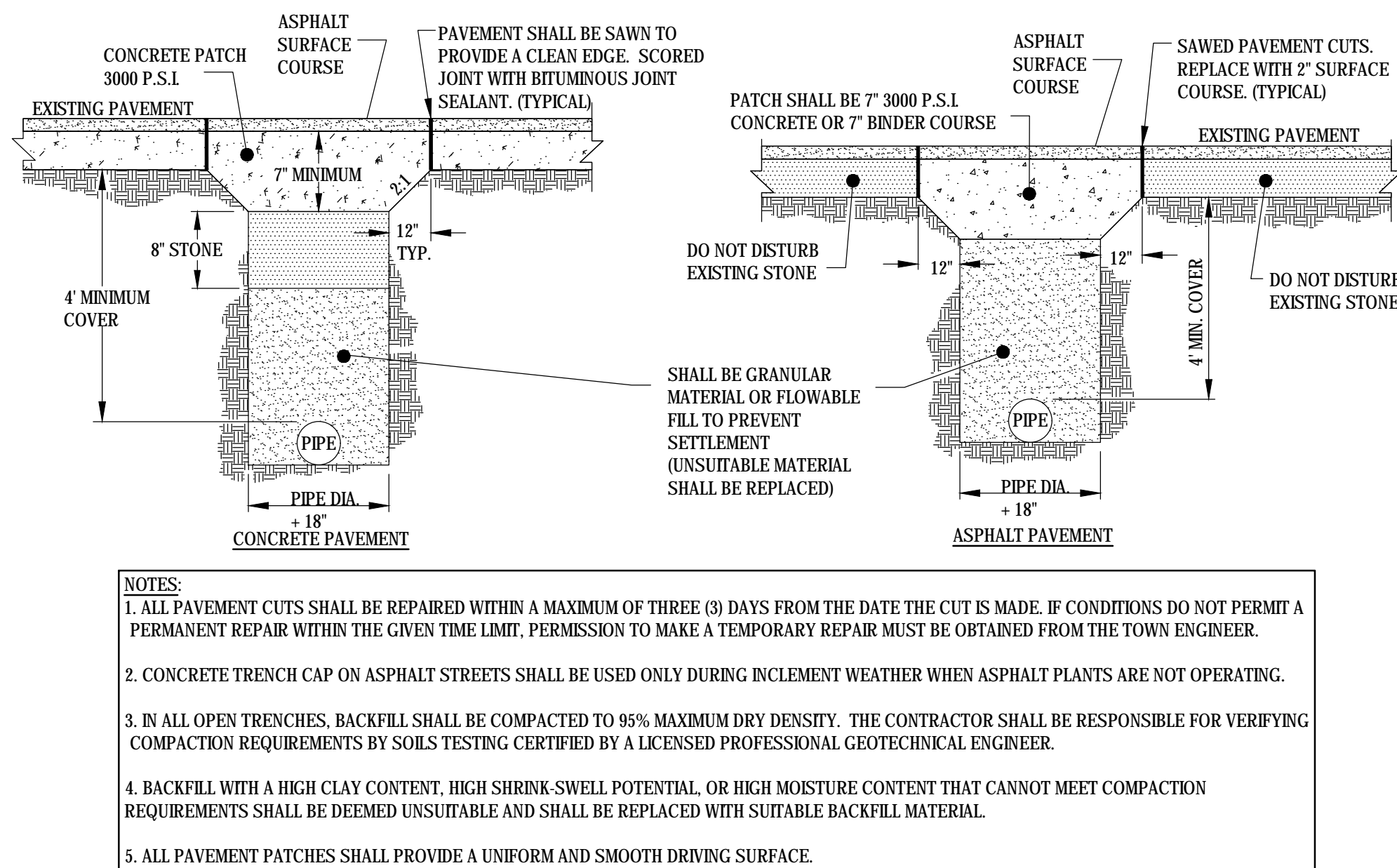
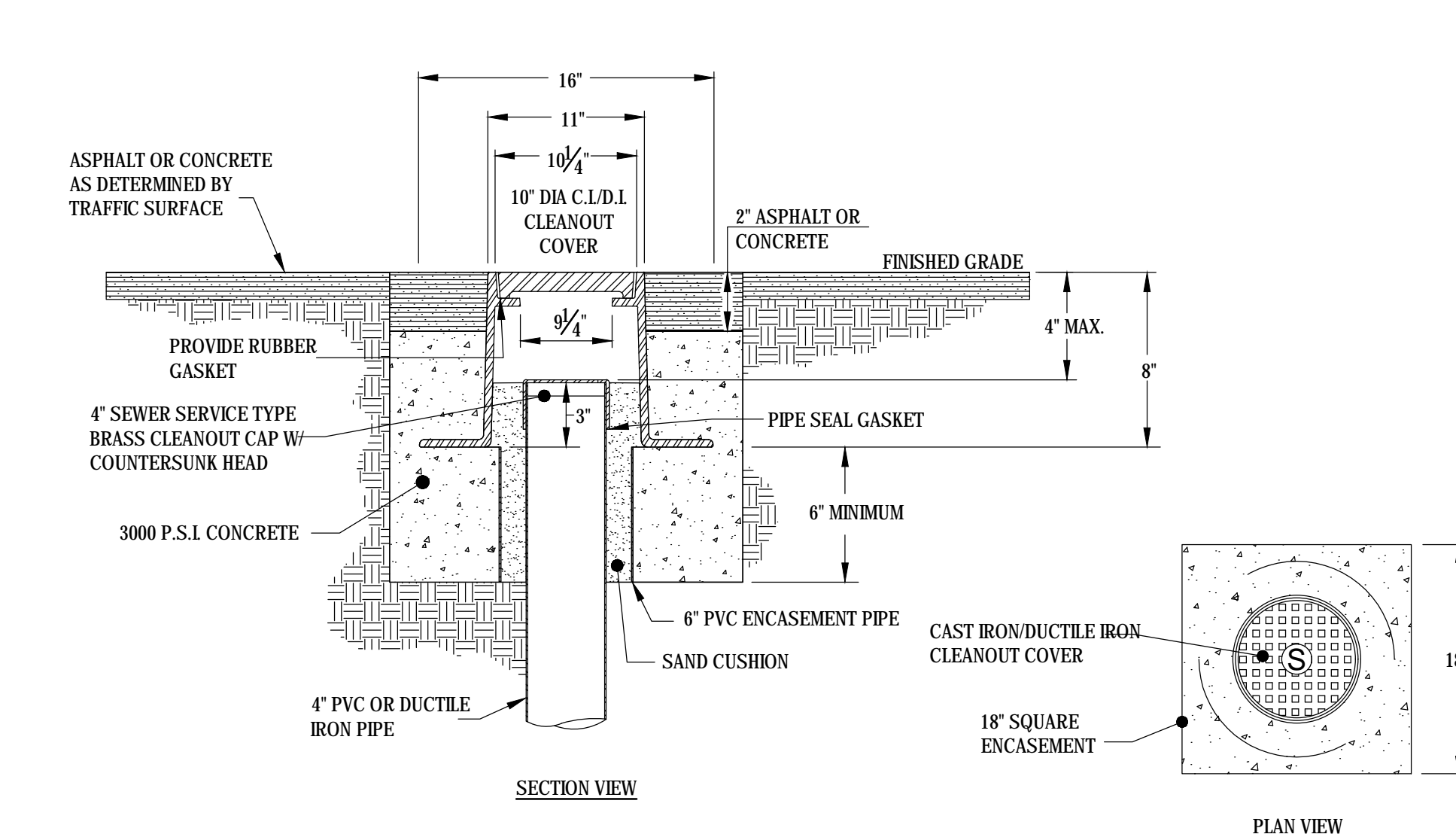
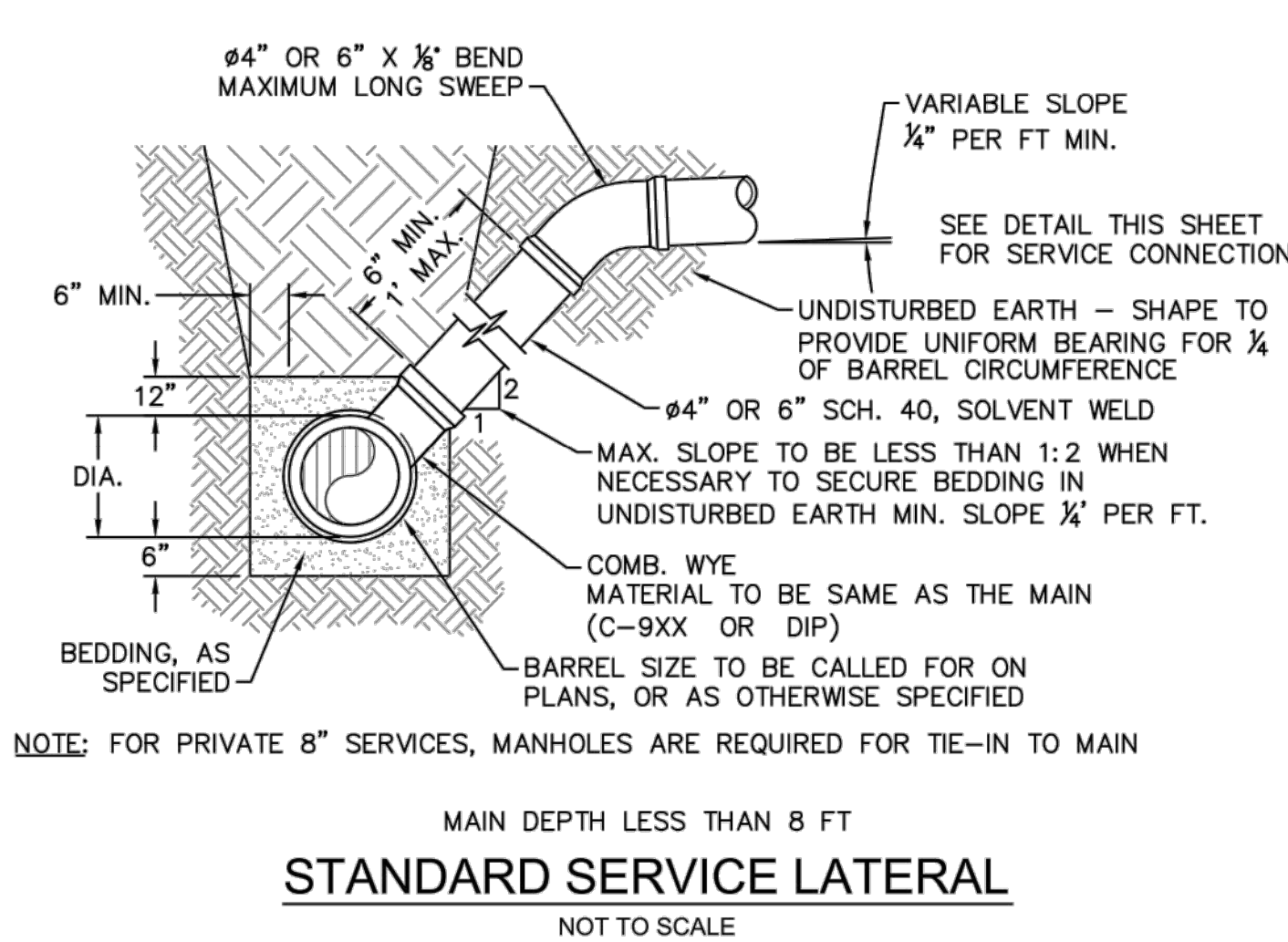
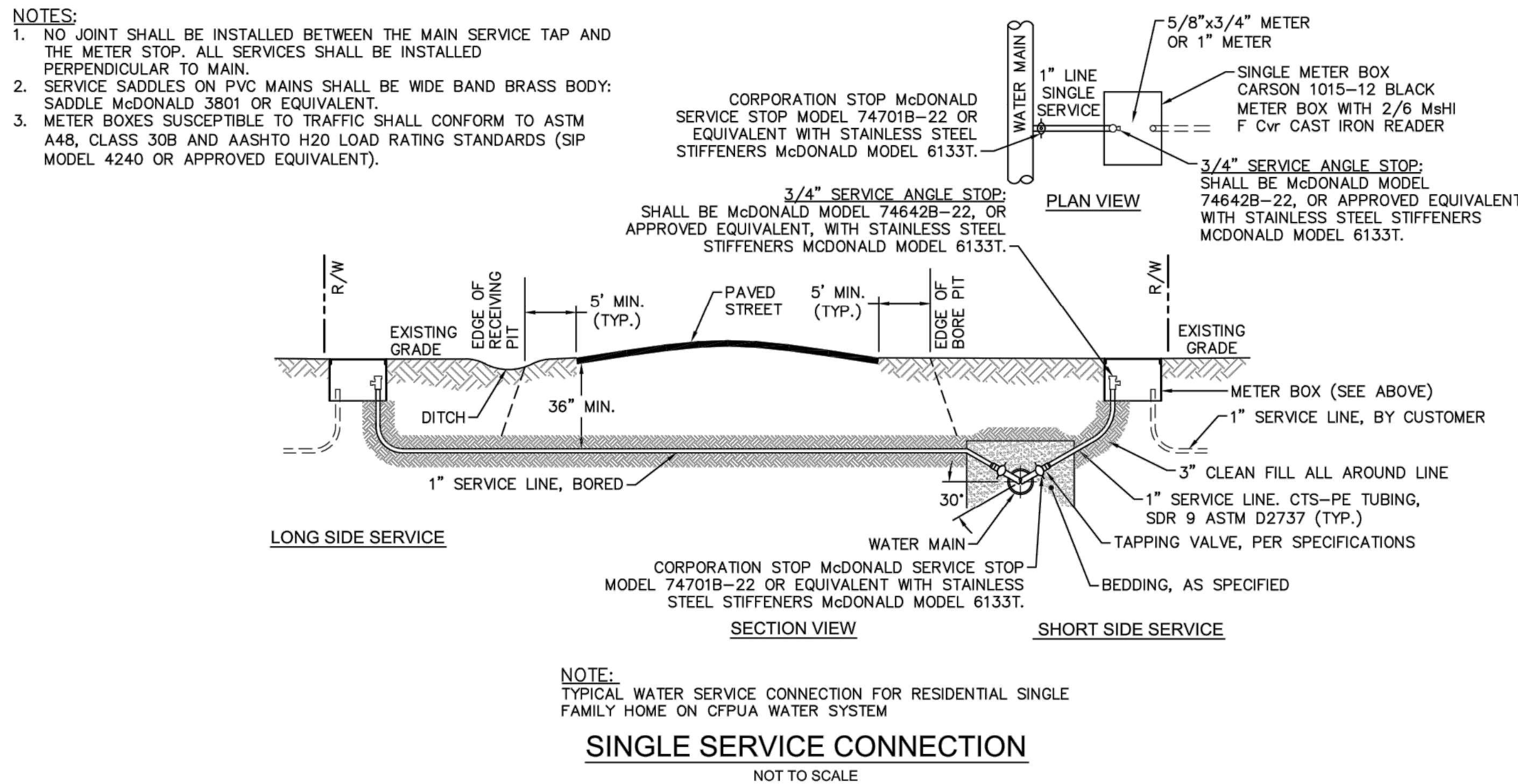
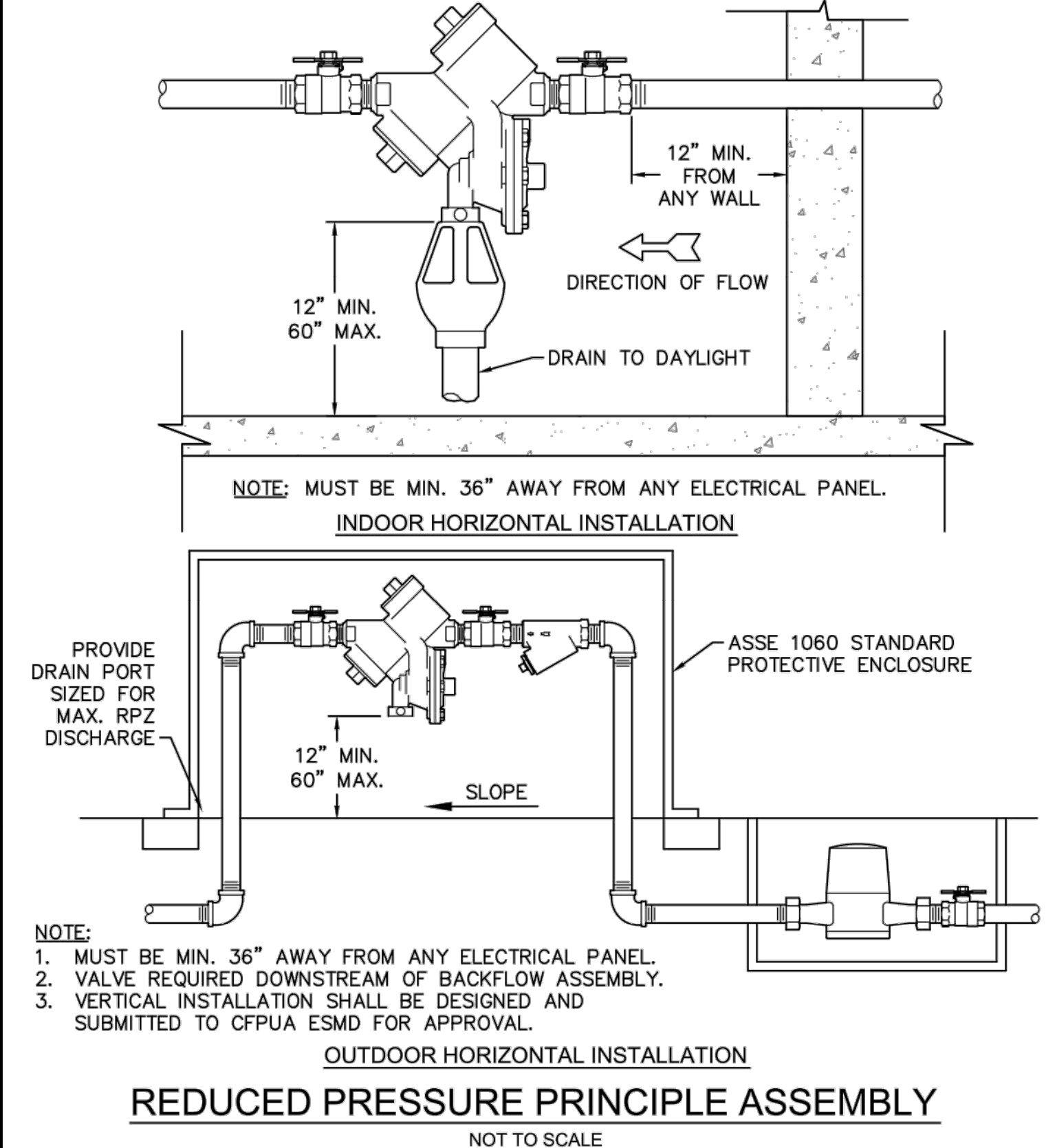
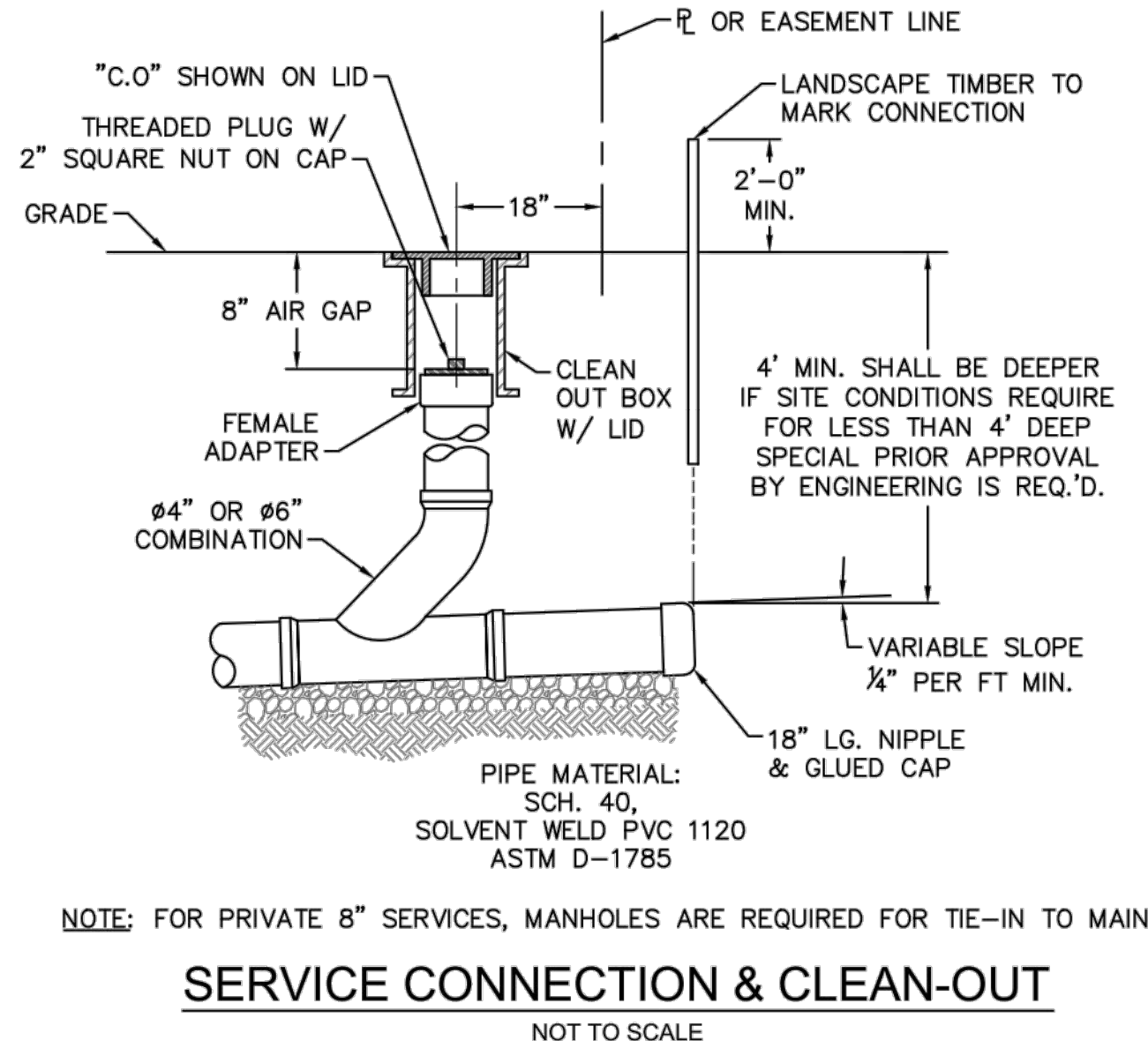
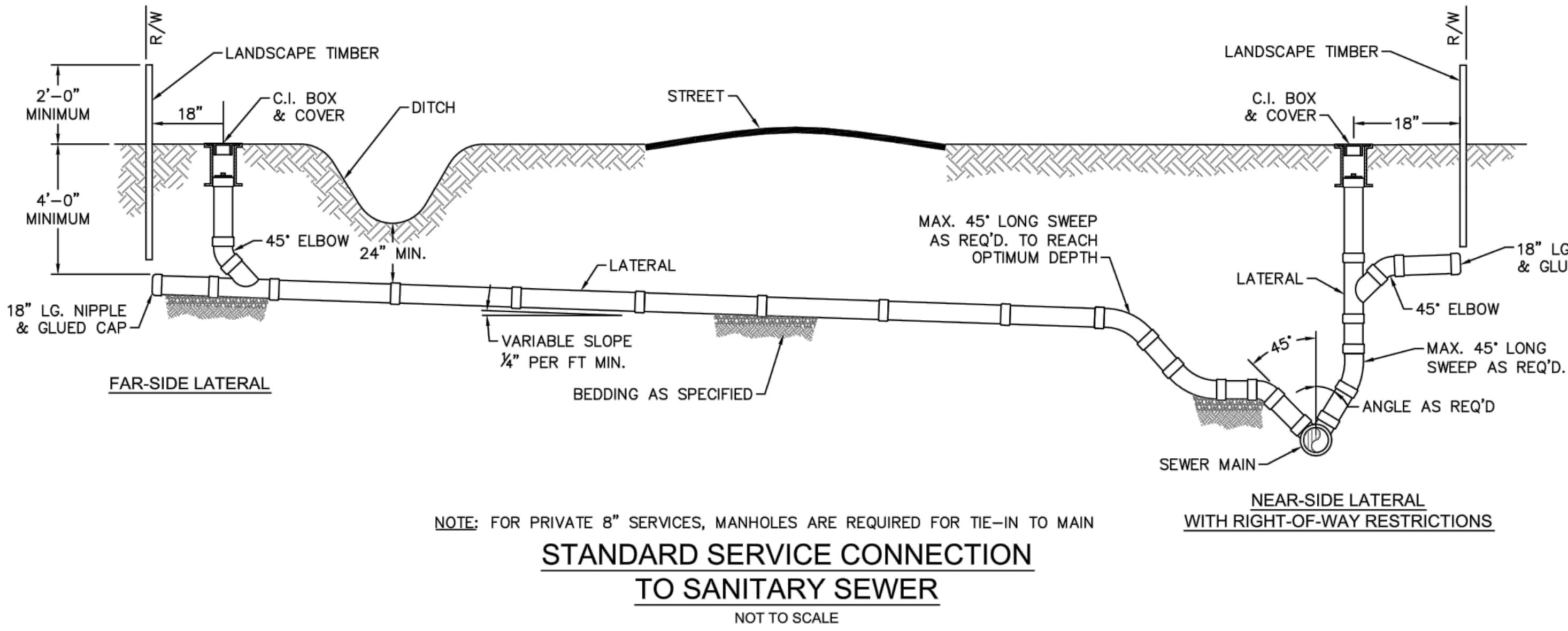
205 S. Piquette Avenue
Fayetteville, NC 27806
T 919.552.0849
F 919.552.2883

WILLIAM E. SHAW
P.E.

SEAL
NORTH CAROLINA
PROFESSIONAL
ENGINEER
WILLIAM E. SHAW
5-18-14

D-02

REVISIONS
DATE: 05-17-16
FILE NO: 2015-083
HORIZ. SCALE: _____
VERT. SCALE: _____
SHEET SIZE: 24 x 36



APPROVED CONSTRUCTION PLAN

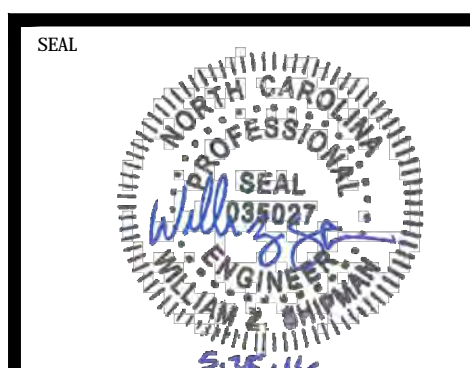
NAME _____ DATE _____

PLANNING _____

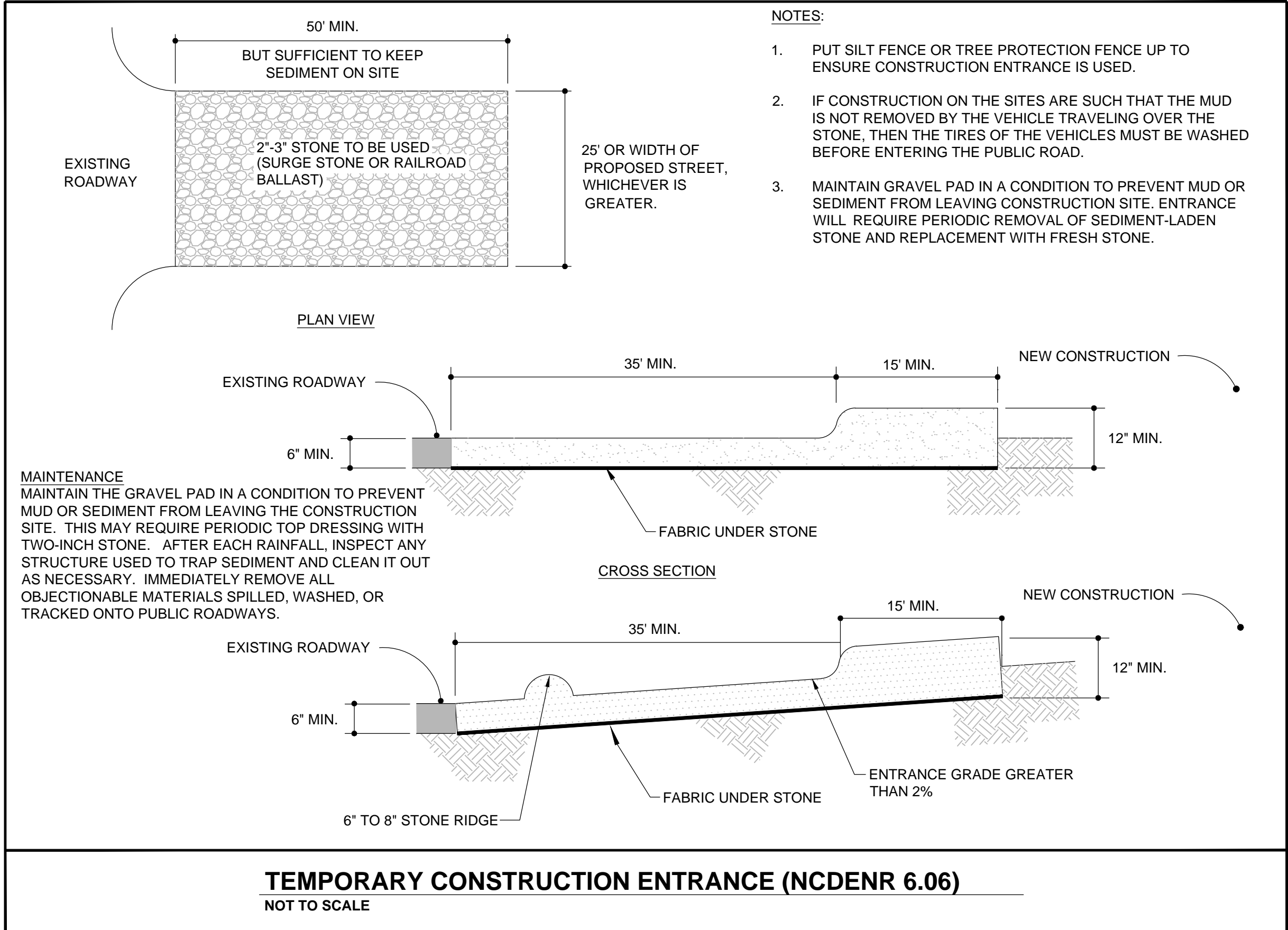
TRAFFIC _____

FIRE _____

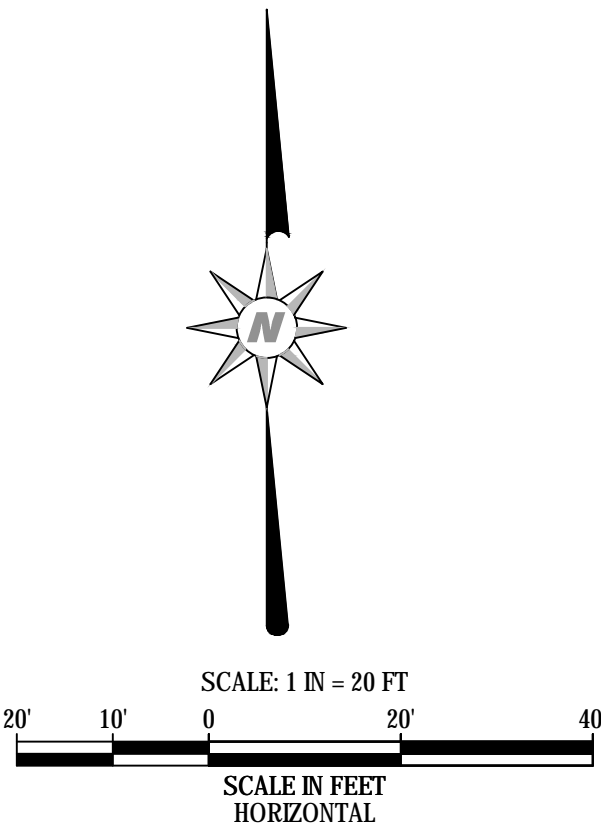
WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.



NOT FOR CONSTRUCTION



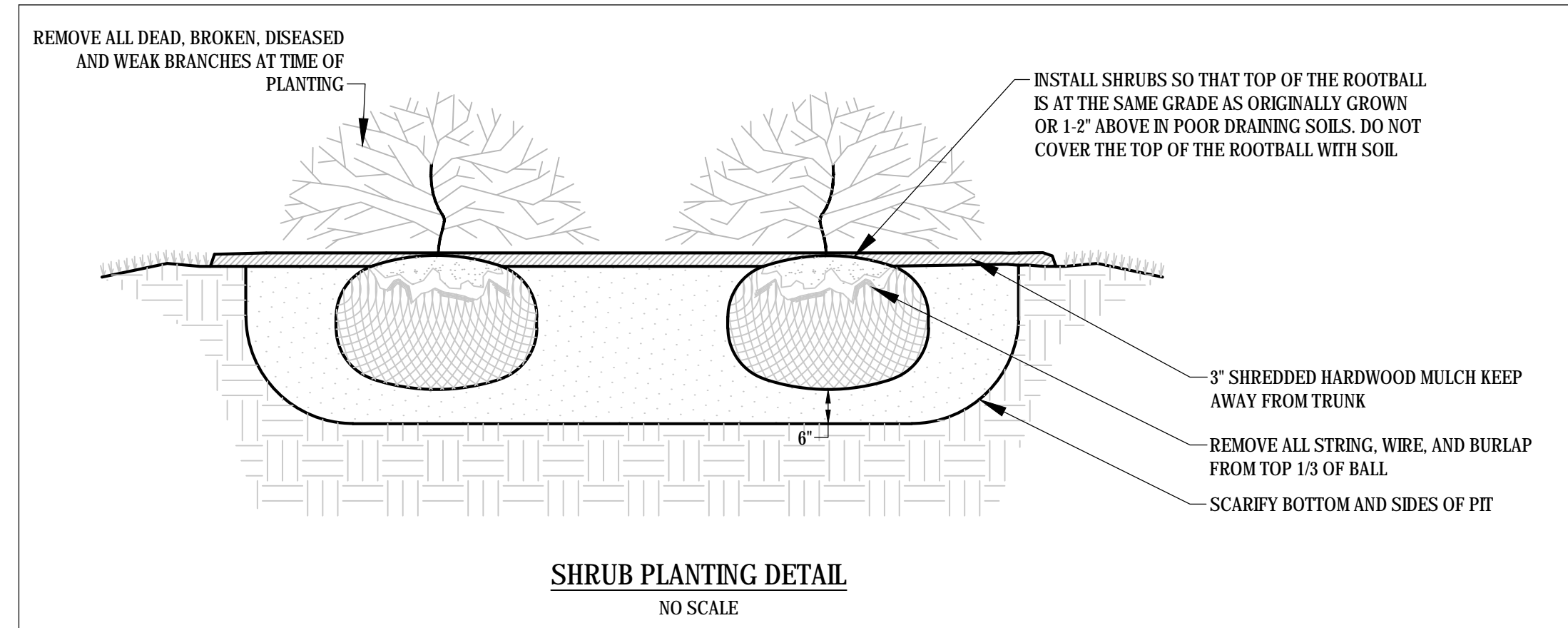
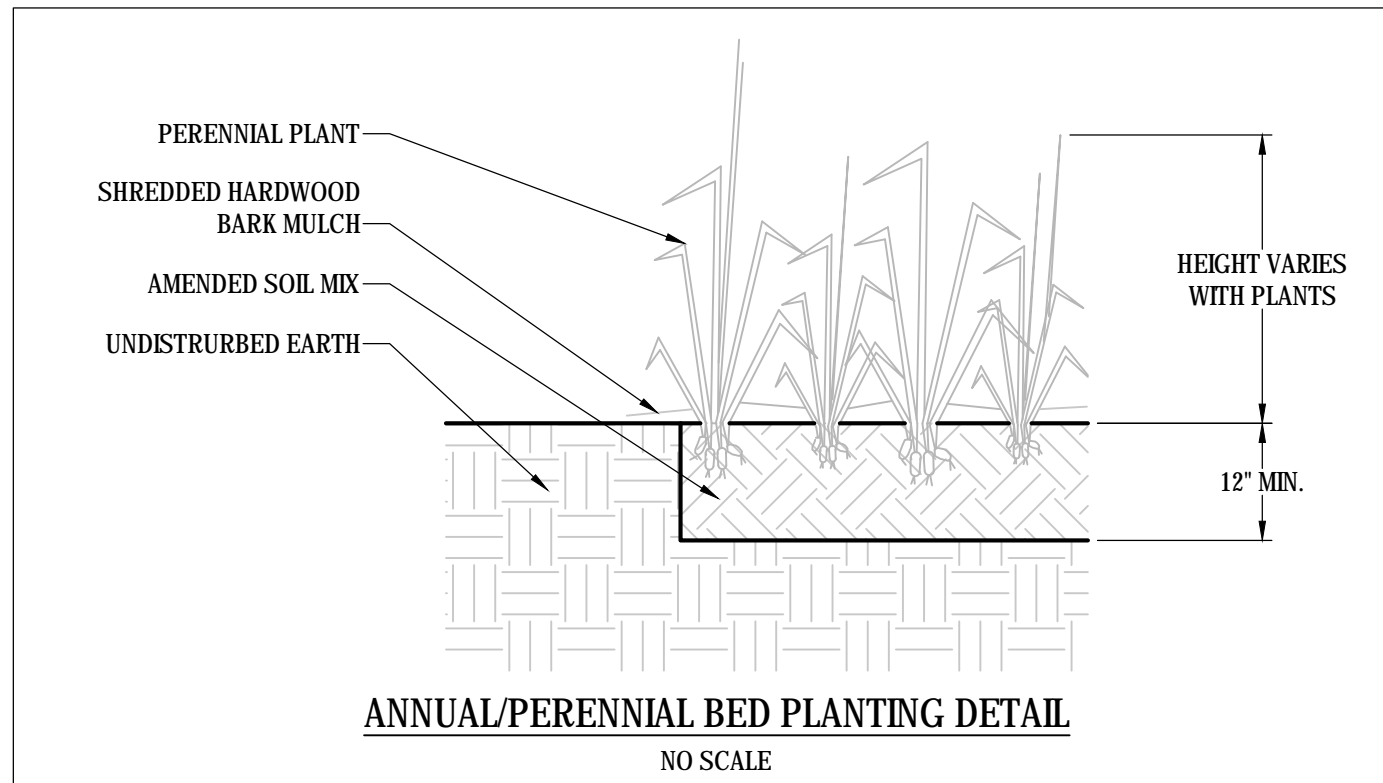
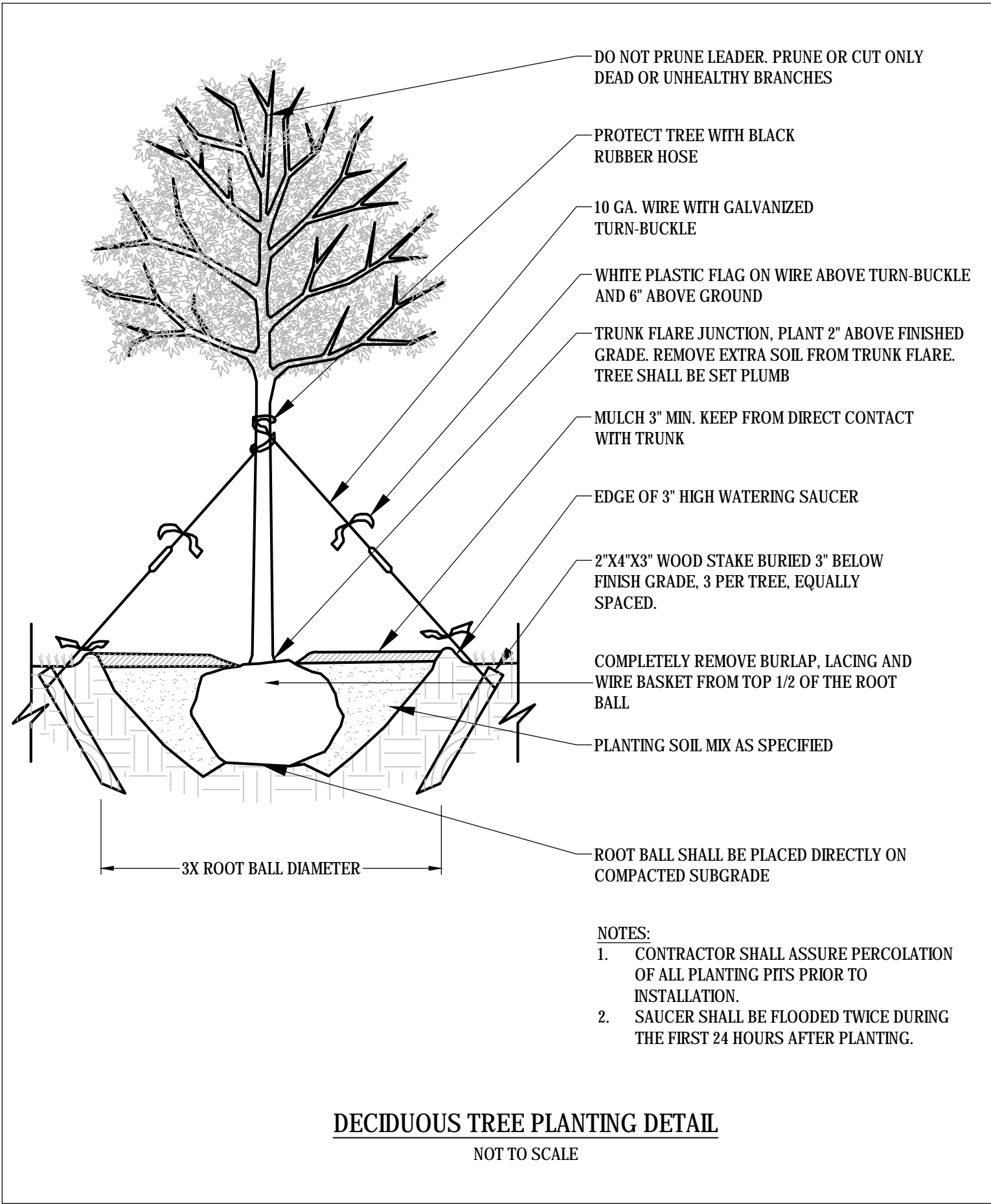
PLANT SCHEDULE						
TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
TREES						
DUT	4	LI	LAGERSTROEMIA INDICA x 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	5' HEIGHT, MULTI-STEM	B&B
ST	2	QA	QUERCUS ALBA	WHITE OAK	2.5" CAL., 10' HEIGHT (MIN)	B&B-SINGLE STEM ONLY
SHRUBS						
ES	5	CSC	CAMELLIA SASANQUA 'CHANSONETTE'	CHANSONETTE CAMELLIA	7 GALLON, 24" HT.	CONTAINER
ES	6	EAA	AZALEA x 'CONLEE' PP#10567	AUTUMN AMETHYST ENCORE AZALEA	18" HEIGHT MIN.	CONTAINER
DS	4	HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24" HEIGHT MIN.	CONTAINER
ES	4	NO	NERIUM OLEANDER	OLEANDER	24" HEIGHT MIN.	CONTAINER
ES	15	PT	PITTOSPORUM TOBIRA	JAPANESE PITTOSPORUM	24" HEIGHT MIN.	CONTAINER
ES	3	RX	ROSA x 'KNOCKOUT'	KNOCKOUT ROSE	24" HEIGHT MIN.	CONTAINER

TYPE/USE LEGEND
PLANT TYPE: ST= SHADE TREE; DUT= DECIDUOUS UNDERSTORY TREE; EUT= EVERGREEN UNDERSTORY TREE; ES= EVERGREEN SHRUB;

- GENERAL NOTES:
- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY MIKE UNDERWOOD AND ASSOCIATES, DATED FEBRUARY 14, 2016, AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, NEW HANOVER COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
 - PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRECONSTRUCTION MEETING IS REQUIRED BETWEEN THE DEVELOPER AND CITY OF WILMINGTON INSPECTION STAFF TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPING PLANS.
 - CONTACT THE NC ONE CALL CENTER (811) FOR LOCATIONS OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM WATERS AND SEWER CONNECTIONS. NOTIFY THE ENGINEER IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING; PLANT LIST TOTALS ARE SHOWN FOR CONVENIENCE ONLY AND SHALL BE CONFIRMED PRIOR TO SUBMITTING BIDS.
 - PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON THE PLANS, UNLESS EXPRESS WRITTEN PERMISSION IS ISSUED FROM THE OWNER OR THE ENGINEER INDICATING OTHERWISE. FINAL PLANT SELECTION MAY BE SUBJECT TO SEASONAL AVAILABILITY AND MAY BE ALTERED OR MODIFIED BY THE OWNER AS DESIRED.
 - ALL PLANT MATERIALS AND INSTALLTION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." IF SPECIFIED PLANT MATERIAL IS NOT AVAILABLE, SUBMIT PROOF OF NON-AVAILABILITY TO THE ENGINEER, TOGETHER WITH PROPOSAL FOR THE USE OF EQUIVALENT MATERIAL, VARIETIES, OR CULTIVARS.
 - PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

- CONSTRUCTION/INSTALLATION:
- THE OWNER AND/OR ENGINEER RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
 - LABEL AT LEAST ONE TREE AND SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY THE OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

- INSPECTIONS/GUARANTEE:
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY THE COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE ENGINEER.
 - ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
 - PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
 - REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



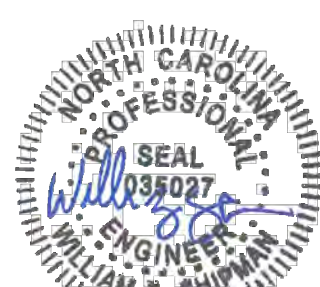
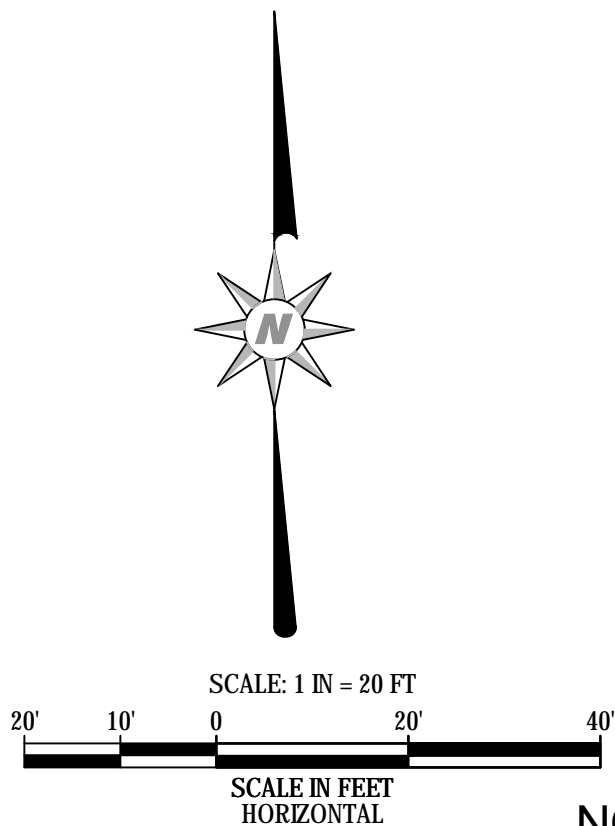
IMPORTANT NOTE: ALL CONSTRUCTION SHALL COMPLY WITH CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.

APPROVED CONSTRUCTION PLAN

NAME	DATE
PLANNING	
TRAFFIC	
FIRE	

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____



HAWTHORNE AT NEW CENTRE CLUBHOUSE AND FITNESS CENTER
LANDSCAPE PLAN